



rare! From Sanderson Young



Celtic Manor  
Gubeon Wood







## Celtic Manor, Gubeon Wood, Tranwell Woods NE61 6BH

£3,750,000

Celtic Manor represents one of the finest new build detached houses available within Northumberland. The property was transformed between 2006 and 2008, when the previous modest detached house was tripled in size. The finished property is truly stunning and its owners have succeeded in creating a most magnificent home.

Celtic Manor is situated on the edge of Tranwell Woods, with close accessibility to the market town of Morpeth and via the A1 linking into Newcastle and its International Airport.

The property enjoys great privacy and is a secure home, with closed circuit TV surveillance cameras and state of the art alarm system. The private surrounding woodlands give tremendous screening to the grounds which extend to 6.5 acres and have been extremely well manicured with fabulous stone terraces and pathways; the long drive leads to a circular courtyard with water feature and triple integral garage.

The house itself has a beautiful stone pillared entrance portico, with entrance vestibule and inner reception hall. The reception hall has magnificent stone flooring and Chesney fireplace, as well as double height void to the galleried landing above. It has a separate cloakroom and wc. The majority of the house has bespoke walnut furniture by Herrington Gate, including panelled internal doors.

The drawing room is at the front of the house with lovely Chesney fireplace. There is a games room at the rear with a cocktail bar, and a plasma screen media wall with contemporary Chesney fireplace beneath.

The garden room/conservatory is to the side of the property, with lantern glazed roof and double doors onto the terraces.

The focal point of the house is undoubtedly the family kitchen/breakfasting room, which has its own walnut panelled wall and contemporary fireplace. The kitchen is beautifully constructed to bespoke standards with walnut cabinets, black granite and state of the art appliances including a Wolff cooking range and two Sub Zero refrigerators, one with a freezer and one with a professional wine chiller. The living area of the kitchen connects to a playroom. There is a second entrance to the property which connects to the guest suite and garaging, as well as leading to a cloakroom/wc. The rear hall connects to useful storage cupboards and a large laundry/utility room.

The leisure suite is magnificent, with a professional full size pool, a Jacuzzi and hot tub and beautiful lighting and tiling. The pool has its own cocktail bar and leads on to the changing room, sauna, steam room, wet room and wc; the gymnasium also leads from the pool room and is air conditioned. All of the pool area has a built-in audio system and speakers.

The lovely staircase, with its glass balustrades and walnut stair treads, leads up to the three quarter landing where there are double doors to a study. The landing connects to two guest suites; both large double bedrooms with professional wardrobes and built-in furniture, as well as fabulous state of the art bathrooms, separate wet rooms, built-in plasma screen TVs and contemporary fittings. There is also a professional cinema room with overhead projector and Bang & Olufson speakers.

The private landing connects to a master bedroom suite. The bedroom has lady's and gentleman's professionally fitted dressing rooms and a magnificent en-suite bathroom/wc with high quality double Jacuzzi bath and double shower and wet room area.

Also leading from the private landing, two doors link off to the fourth and fifth bedrooms to the house, both of which share an en-suite Jack and Jill bathroom.

The guest suite lies above the triple garage and provides a large self contained apartment with professionally fitted walnut kitchen, with granite worktops and built-in appliances. The kitchen opens through to the lounge and bedroom, with walk-in dressing room and a stunning en-suite bathroom/wc with tub bath and separate shower room.

The whole of the house has intelligent wiring and many of the rooms enjoy built-in speakers to the ceiling and digital control panels, where mood setting can be achieved for audio and lighting. The heating system is oil fired, with two very large tanks and three boilers. Lighting to the property is extremely impressive and a great deal of care and attention has gone into its design.

The lawned gardens are very impressive and there is a timber constructed summerhouse set into the rear gardens, adjacent to the woods. To the foreground of the property at the rear, there is a raised timber deck and terrace adjacent to the swimming pool. The property has external lighting, speaker system and closed circuit TV surveillance cameras.

The house has external water and power supply, as well as highly impressive lighting. Two cylindrical oil tanks are hidden in the garden with fence boundaries.

Services: Mains electric and water | Oil Central Heating | Tenure: Freehold | Council Tax Band: H

Agent Note – Photography in this brochure is for indicative purposes only and was taken some years ago.

Much of the property remains in a similar standard however the leisure complex is in the process of being refurbished and will once complete look similar to the photography in this brochure.

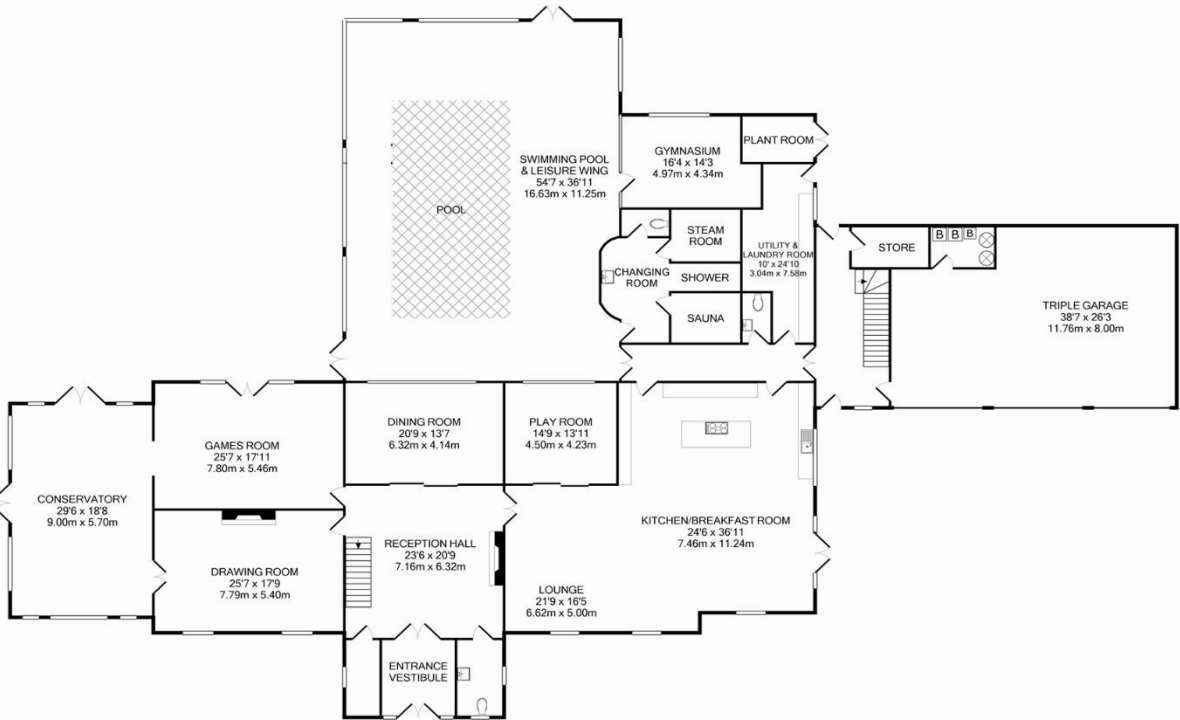




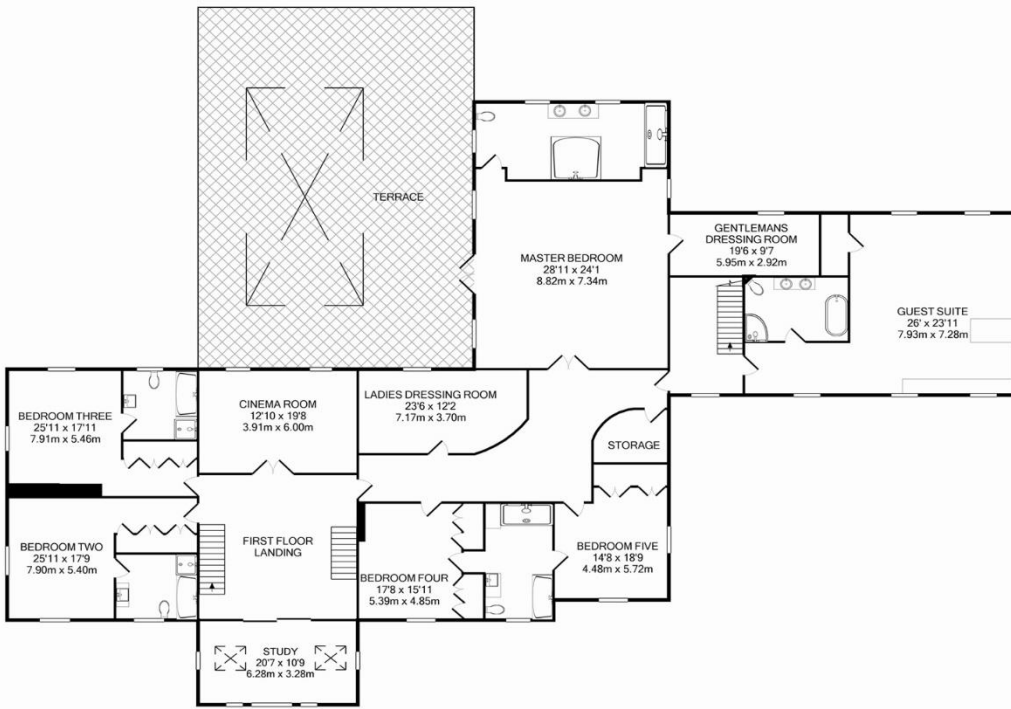








GROUND FLOOR



1ST FLOOR

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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All confidential enquiries to:  
rare! Office, 95 High Street, Gosforth, Newcastle upon Tyne NE3 4AA  
E: [duncan.young@sandersonyoung.co.uk](mailto:duncan.young@sandersonyoung.co.uk) | E: [ashleigh.sundin@sandersonyoung.co.uk](mailto:ashleigh.sundin@sandersonyoung.co.uk)  
T: 0191 2233500 | [www.sandersonyoung.co.uk](http://www.sandersonyoung.co.uk)